



AVAILABLE FOR SALE OR LEASE

# 8806 CINCINNATI-DAYTON ROAD

WEST CHESTER, OHIO 45069



*Available on  
November 1, 2025*



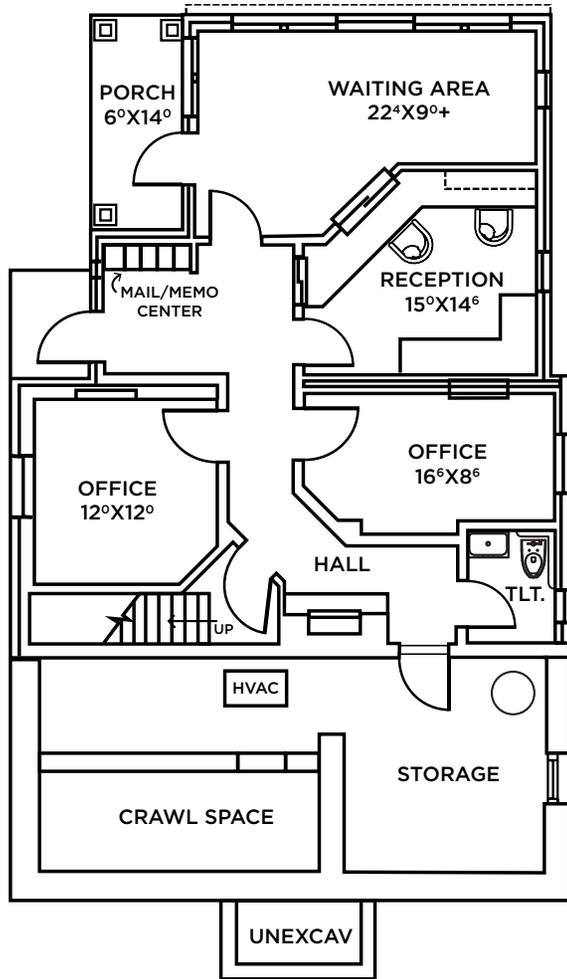
## Property Highlights

- 3,902 RSF two-story building available on November 1, 2025
- Plentiful parking with direct access to both floors
- Located in West Chester Township – 0% local earnings tax
- Easy access to I-75 from either Union Centre Blvd. or Cincinnati-Dayton Road interchanges
- Close proximity to numerous restaurants, hotels, banks & parks
- Lease Rate: \$14.50 /SF Modified Gross
  - Landlord will pay for RE Taxes & Insurance; CAM, cleaning, and utilities are tenant's responsibility
- Sale Price: \$495,000

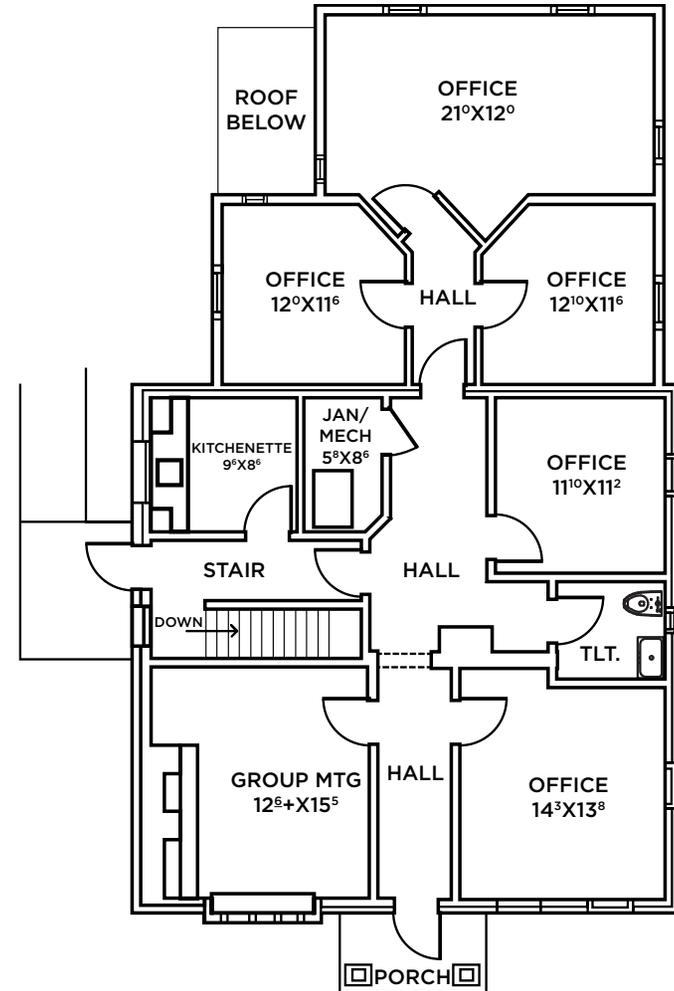


# Floor Plans

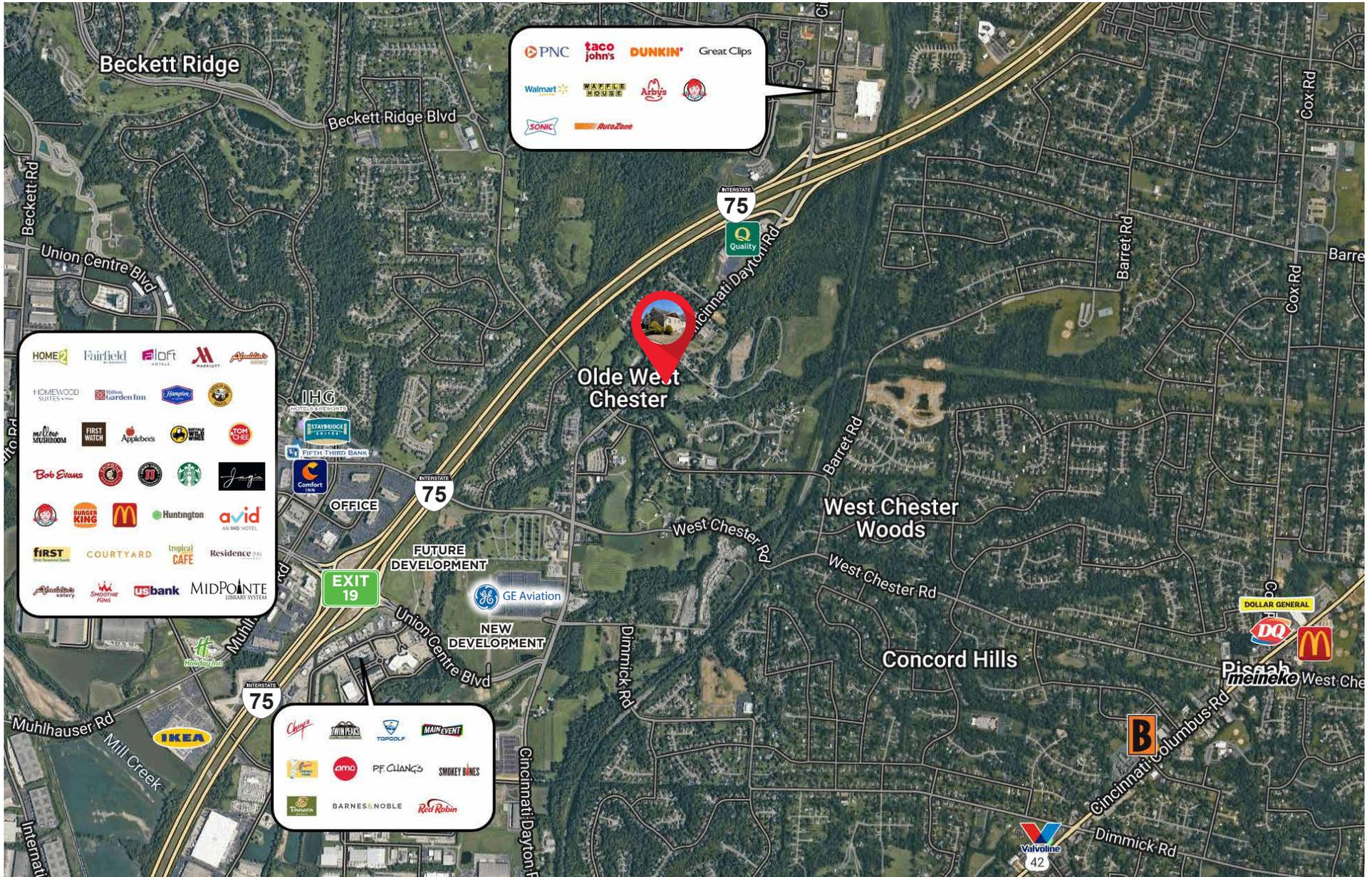
Lower Level | 1,951 SF



Floor 1 | 1,951 SF

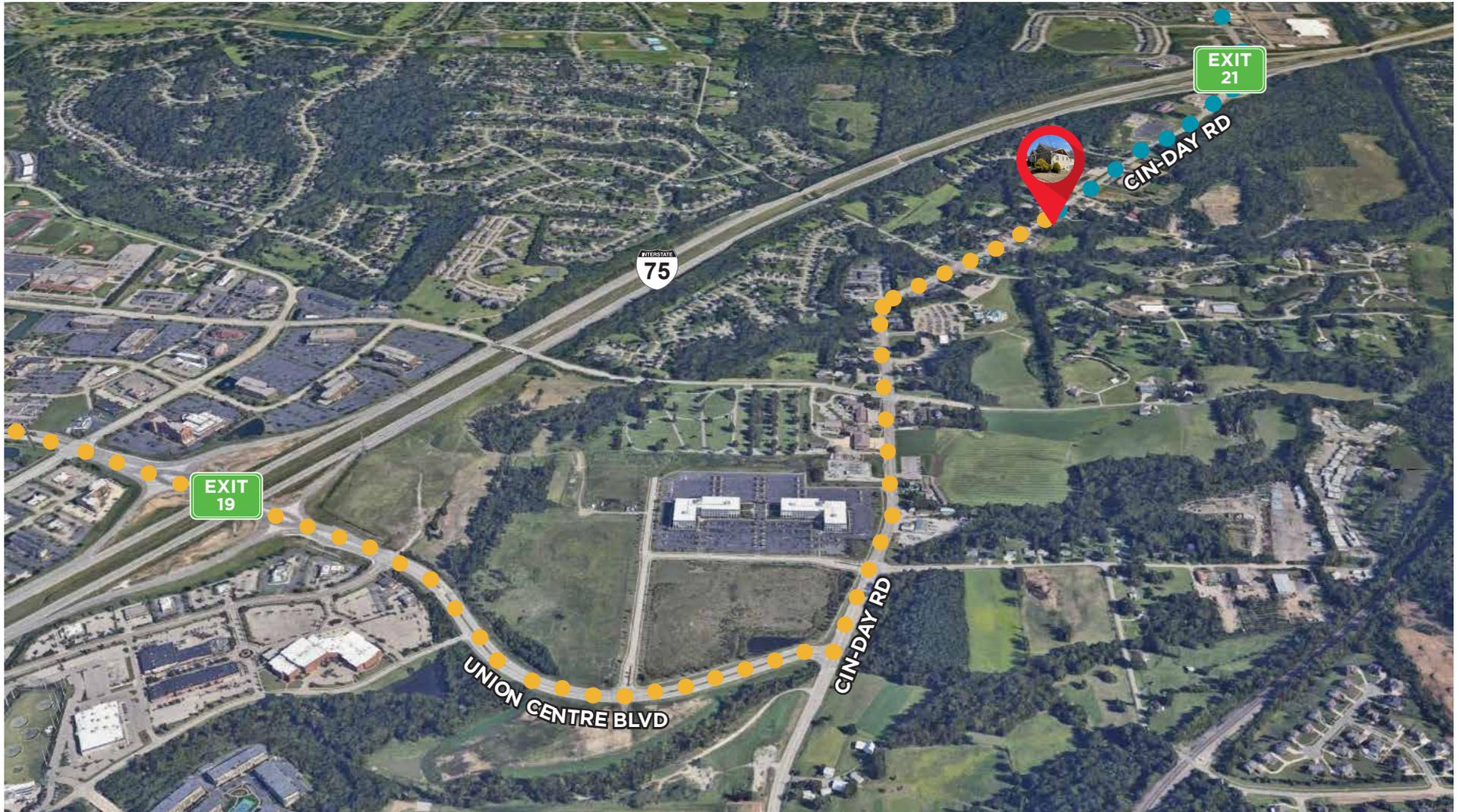


# Nearby Amenities



# Easily Accessible

via Cincinnati-Dayton Road & Union Centre Blvd.





## CONTACT

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