## **OFFICE IMPROVEMENTS COMPLETED**

## **RAIL SERVED**

## FOR LEASE / 70,080 SF

## **14700 E 38TH AVENUE** AURORA, COLORADO



#### **PROPERTY FEATURES**

Building Size Office Size Clear Height Loading ±70,080 SF (Divisible) ±3,778 SF 22' (14) Dock high doors (2) Drive-in doors (5) Rail Doors Zoning Power Sprinklers Building Depth Parking Spaces Operating Expenses

I-1 600 Amps, 480 volt, 3-phase ESFR, K25 160' 53 \$5.06/SF (2024)

#### **ADDITIONAL HIGHLIGHTS**

- Skylights
- Union Pacific Rail
- Pit levelers

- Secured entry
- 15 Minutes from Denver International Airport
- 20 Minutes from Downtown Denver

### **FLOOR PLAN**

# 14700 E 38TH AVENUE AURORA, COLORADO



SITE PLAN



# **14700 E 38TH AVENUE** AURORA, COLORADO







#### Contact

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